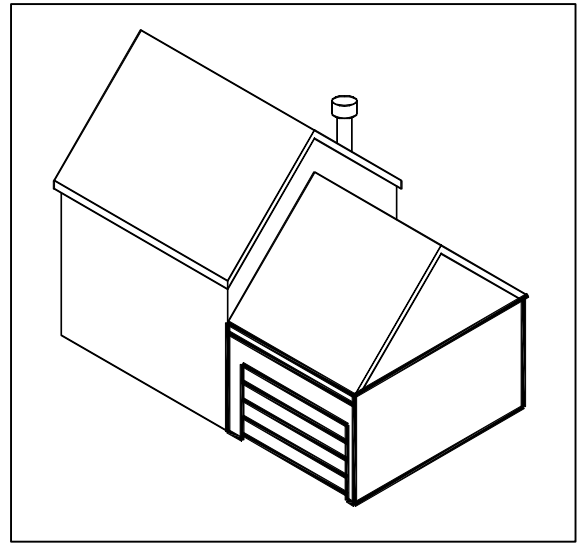


# CARPORT ENCLOSURES

## A GUIDE FOR HOMEOWNERS ENCLOSING A CARPORT

This pamphlet provides guidelines for homeowners enclosing a carport. Compliance with minimum requirements and approved plans are subject to verification and inspection.



## WHAT REGULATIONS GOVERN ENCLOSING AN EXISTING CARPORT

### THE CODE OF VIRGINIA

The *Code of Virginia* requires that your carport enclosure comply with the Virginia Uniform Statewide Building Code (VUSBC). By reviewing plans, issuing permits, and performing field inspections, the Department of Public Works and Environmental Services (DPWES) and the Office of Building Code Services (OBCS) help you comply with the provisions of the law.

### VIRGINIA UNIFORM STATEWIDE BUILDING CODE

Fairfax County is required to enforce the VUSBC, which incorporates by reference the Council of American Building Officials (CABO) One and Two Family Dwelling Code, the CABO Model Energy Code, the Building Officials and Code Administrators (BOCA) National Building Code, the International Mechanical Code, the International Plumbing Code, and the National Electrical Code. These Codes may be purchased from Maps and Publications, located in the Government Center, 12000 Government Center Parkway, Suite 156, Fairfax, Virginia, 22035, telephone **703-324-2974**.

### ZONING REQUIREMENTS

Check with the Zoning Permit Review Branch at **703-222-1082** to determine minimum yard and other zoning related requirements. Minimum yard (setback) requirements, as set forth in the County Zoning Ordinance, represent the minimum distances from the property boundary lines that are required for the location of a structure.

## THE PERMIT APPLICATION CENTER OFFICE OF BUILDING CODE SERVICES

Hours of Operation for Walk-in Customers:  
Monday - Thursday: 8:00 a.m. to 4:00 p.m.  
Friday: 9:15 a.m. to 4:00 p.m.

Other publications and forms are  
available on the DPWES website:  
[www.fairfaxcounty.gov/dpwes](http://www.fairfaxcounty.gov/dpwes)



Herrity Building  
12055 Government Center Parkway  
Fairfax, Virginia 22035  
Telephone: 703-222-0801  
TTY: 703-324-1877  
Telephone Hours:  
Monday - Thursday: 8:00 a.m. to 4:30 p.m.

### HEALTH DEPARTMENT REQUIREMENTS

Check with the Health Department at **703-246-2201** to determine requirements pertaining to any new construction on lots served by a septic system or private well. Appropriate clearances from new footings to the septic system or well must be maintained. The Health Department is located at 10777 Main Street, Fairfax, Virginia 22030.

### COVENANTS AND DEED RESTRICTIONS

Many of the subdivisions and developments in Fairfax County have private deed restrictions and covenants regulating construction beyond the limitations contained in County Ordinances. These amount to contractual agreements and thus the County does not enforce covenants and deed restrictions and is not always aware of their existence. Should you have questions about your development's restrictions, you may obtain information from your homeowners' association, civic association, or the Land Records Office at the Jennings Building (Judicial Center), Third Floor, 4110 Chain Bridge Road, Fairfax, Virginia, telephone **703-591-8580**.

## **WHAT PERMITS ARE REQUIRED**

The five types of permits that may be required, depending upon the complexity of the project, are as follows:

- A ***building permit*** is required for construction of architectural and structural elements of a carport enclosure.
- An ***electrical permit*** is required for all electrical installations.
- A ***mechanical permit*** is required for installations of all elements and appliances associated with heating and air conditioning systems.
- A ***plumbing permit*** is required for installations of all elements and appliances associated with plumbing and gas piping systems.

If a grading plan is required for the construction of your carport enclosure (see page 6), and your property is located on a state maintained road, a permit from the Virginia Department of Transportation (VDOT) is required prior to issuance of the building permit. This permit is required for ingress and egress to the site.

## **WHERE TO APPLY FOR PERMITS**

Application for a building, electrical, mechanical and plumbing permit can be made at the Permit Application Center, OBCS, Herrity Building, 2nd floor, 12055 Government Center Parkway, Fairfax, Virginia 22035-5504, Mon. - Thu., 8:00 a.m. to 4:00 p.m., Friday 9:15 a.m. - 4:00 p.m., telephone **703-222-0801**.

Application for a VDOT permit can be made at the VDOT Permit Office at 3555 Chain Bridge Road, Fairfax,

Virginia 22030, telephone **703-383-2888**.

## WHAT DO THE PERMITS COST

Call the Permit Application Center at **703-222-0801** to obtain information regarding the fee structure for a building permit.

After the building permit is issued, separate electrical, mechanical and plumbing permits can be issued. Separate fees will be charged for each of these permits, based on the equipment listed on the permit applications. Call the Permit Application Center at **703-222-0801** to obtain information regarding the fee structure.

Call **703-246-2201** for information regarding Health Department fees, if applicable.

Call VDOT at **703-383-2888** for information about the costs associated with the issuance of a VDOT permit.

## WHO SHOULD APPLY FOR PERMITS

You may secure the permits in your own name; however, if a contractor is to perform the work, Fairfax County strongly suggests that the contractor secure the permit and be listed on the permit as the party responsible for the work. In this way, the County will be in a better position to assist you in gaining compliance with codes if the work is defective. A contractor must be properly licensed in order to obtain a permit.

## WHAT TO BRING FOR THE PERMIT APPLICATION

### PLANS REQUIRED

There are two options with which to achieve a plan submission. The requirements for each are listed below.

#### OPTION 1: COMPLETE SET OF DRAWINGS

Two copies of the carport enclosure drawings must be submitted. All structural and architectural elements must be completely detailed and included on a comprehensive set of drawings. The drawings must be to scale showing all dimensions. The minimum acceptable scale is 1/4 inch = 1 foot and the following information must be included, if applicable.

- Code and code year used for the design, CABO One & Two Family Dwelling Code or BOCA National Building Code (most typically carports are enclosed under the CABO Code).
- Architectural Elements:
  - Floor plans of with all rooms labeled.
  - Elevations (front, sides and rear) indicating window and door dimensions.
  - Insulation R-values.
  - Manufacturer's design specifications for pre-fabricated fireplaces.

- Structural Elements:
  - Foundation plan.
  - Footing details (minimum footing depth is 24").
  - Wall section with the sizes of all posts, joists, headers and beams and sheathing size and type.
  - List of material specifications, including, but not limited to: grade and species of lumber, concrete strength, and steel strength.
- Name and occupation of the building designer.
- If plans are prepared by a Professional Engineer or Registered Architect, at least one set of construction drawings must bear the **original** Professional Engineer's or Registered Architect's seal and signature. This set will be retained by the County.

**ALL DRAWINGS MUST BE PREPARED TO SCALE IN INK OR EQUAL ON SHEETS NO SMALLER THAN 11" x 17".**

- *Energy Trade-Off Worksheet*: Fairfax County is required to enforce the CABO Model Energy Code. Provisions of this code require that the building envelope (those elements which enclose conditioned spaces) of all habitable carport enclosures be designed to maximize thermal resistance and minimize air leakage. Energy calculations are a method to determine compliance with those provisions. A copy of the applicable energy calculations must be attached to each set of building drawings. A handout entitled *Energy Trade-Off Worksheet* is available from the Building Plan Review Division or the Permit Application Center. This handout outlines code requirements and detailed step-by-step instructions.

Carport enclosures which are reviewed under the Walk-Thru Program (see page 6) have an alternative, less complicated method of analyzing energy compliance. This method is outlined in the handout entitled *Walk-Thru Energy Worksheets* which is also available from the Building Plan Review Division or the Permit Application Center.

## OPTION 2: NO DRAWINGS REQUIRED

A copy of the *Fairfax County Typical Carport Enclosure Details* is attached. These details may be used in lieu of submitted drawings for review. The building permit application (see below) must reflect their use. Any deviation from the requirements stated therein will require a plan submission as noted in Option 1.

## HOUSE LOCATION PLATS

- Two copies of your house location plat are required to accompany a building permit application.
- Sketch, to scale, the area of the enclosed carport on the copies of the house location plat, include the distance from the addition to the lot lines.
- If County easements are present on a lot, no construction shall encroach into the ground or air space of

the easement.

- If you do not have a copy of your house location plat, a copy may be obtained from the Zoning Permit Review Branch located on the 2nd Floor, 12055 Government Center Parkway, Fairfax, Virginia 22035.

- A grading plan may be required if the carport enclosure alterations block current yard drainage patterns.

## **WHAT IS THE PERMIT PROCESS**

### **BUILDING PERMIT PROCESS**

The review process begins when the plat and carport enclosure drawings, if applicable, are complete and have been submitted, along with a building permit application, to the Permit Application Center on the second floor of the Herrity Building. The permit will be "logged in," a permit number will be assigned to identify the project and a plan tracking number will be assigned to identify the drawings. The building permit application will be returned to you for obtaining the approval signatures from the applicable offices required for permit issuance; the permit technicians will direct you to the appropriate agencies. The signatures are placed on the lines adjacent to their corresponding departments as listed on the building permit application. The applicable departments for a carport enclosure are listed below.

- *Zoning*: the Zoning Permit Review Branch will sign off after the plat has been reviewed and approved for zoning related issues.
- *Site Permits*: the Site Permits Section will sign off after the plat has been reviewed and approved for site related issues. A site inspection may be required prior to permit approval if the carport enclosure alterations block current yard drainage patterns. This inspection will take at least one day.
- *Health Dept.*: the Health Department will sign off after the plat has been reviewed and approved for clearances to existing wells and/or septic tanks if they exist on the property.
- *Building Review*: the Building Plan Review Division will sign off only after all other signatures have been obtained and after the building plans have been reviewed and approved, if applicable.

Most carport enclosures are eligible for the Walk-Thru Program. The Walk-Thru Program allows the permit holder to walk the plat, drawings and building permit application to the approving agencies for review with permits usually being issued on the same day.

### **MECHANICAL, ELECTRICAL, AND PLUMBING PERMIT PROCESS**

After the building permit is issued, separate electrical, mechanical and plumbing permits can be issued. Electrical, plumbing and most mechanical permits do not require a plan submittal or review process. These

permits can be obtained by you or by a licensed contractor hired to perform the work. Code compliance will be determined at the time of the inspection.

## **WHAT ARE THE REQUIREMENTS FOR PUBLIC UTILITIES**

Call "Miss Utility" at **1-800-257-7777** before excavating to ensure that the construction does not interfere with underground utility lines. "Miss Utility" is a free service to anyone who is planning to excavate. Companies such as Dominion Virginia Power, Washington Gas, Columbia Gas, Verizon Communications, and Cox Cable support "Miss Utility" to prevent damage to their buried lines. Call at least 48 hours prior to excavating. The various companies will mark the path of underground utilities on the property. If you fail to contact Miss Utility and damage occurs, you will be liable for all costs of repair.

## **WHEN INSPECTIONS ARE REQUIRED**

Inspections are required by the VUSBC to ensure that the structure and the electrical, plumbing, gas, and mechanical work and equipment conform to the approved plans and meet the intent of the VUSBC for structural and other safety considerations.

The number of inspections required varies depending on whether electrical or plumbing installations are made. The Inspection Timing Checklist on the following page outlines the required inspection and the stage of construction in which the project should be prior to requesting an inspection.

In an effort to maximize the benefits of a cross-trained inspection force, all concealment inspections, as well as all final inspections (building, mechanical, electrical and plumbing) are required to be combined. If the close-in and final inspections are not scheduled to be conducted simultaneously, the inspector may hold the requests until all trades are ready to be inspected.

**A COPY OF THE APPROVED PLAT AND CARPORT ENCLOSURE DRAWINGS MUST BE ON THE JOB SITE AND MUST BE AVAILABLE TO THE INSPECTOR DURING EACH INSPECTION OR NO INSPECTIONS WILL BE PERFORMED.**

## **WHEN AND WHERE TO CALL FOR INSPECTIONS**

Pursuant to the VUSBC, it is the responsibility of the permit holder or the permit holder's representative to notify the county when the stages of construction are reached that require an inspection. All ladders, scaffolds and test equipment required to complete an inspection or test shall be provided by the property owner, permit holder or their representative.

The Inspection Request Center's telephone number is **703-222-0455**. Please call between the hours of 8:00 a.m. and 4:20 p.m., Monday through Friday, except on county holidays. Please have your permit number available to give to the inspection request operator.

Customers may also use the telephone Automated Inspection Request System (AIRS), at **703-222-2474**, or Building Code Services Online, at [www.fairfaxcounty.gov/isisnet](http://www.fairfaxcounty.gov/isisnet), 24 hours a day, seven days a week, to schedule and cancel inspections. Request made prior to 11:59 p.m. will be scheduled for the next working day.

**FOR FURTHER INFORMATION ON PERMIT REQUIREMENTS FOR CARPORT ENCLOSURES CONTACT THE PERMIT APPLICATION CENTER AT 703-222-0801. FOR FURTHER**

**INFORMATION CONCERNING BUILDING CODE REQUIREMENTS, PLEASE CONTACT THE BUILDING PLAN REVIEW DIVISION AT 703-222-0114.**

**INSPECTION TIMING CHECKLIST FOR CARPORT ENCLOSURES**

TYPE OF INSPECTION	INSPECTION PERFORMED BY	WORK TO BE COMPLETED PRIOR TO INSPECTION REQUEST	APPROVAL REQUIRED PRIOR TO PROCEEDING WITH
Footing Inspection (If an existing footing is altered or a new wall footing is constructed)	Residential Inspector	-After the footing is completely prepared for concrete. -Grade pegs must be in place. -All concrete forms must be in place. -Reinforced steel must be in place if required. -The bottom of the footing must rest on solid ground.	-Before placing concrete in the footing.
	Geotechnical Engineer (problem soils area)	-If the permit indicates a problem soil area (the word "soil" is marked on the permit application), a geotechnical engineer of record may be required.	
	Others (non-problem soils area)	-If the homeowner wishes a private engineer or architect is wanted to perform the inspection, contact the Director of Residential Inspections Division at 703-631-5101 prior to the issuance of the permit.	
Slab Inspection (If a new or partial slab is placed)	Residential Inspector	-The area is completely prepared for pouring concrete and reinforcing steel is placed. -The gravel and vapor barrier must be installed to establish the finished elevation. -Approved plans must be on the job site.	-Placing concrete in the slab.
Electrical Close-In Inspection	Residential Inspector	-All initial wiring must be completed. -No switches, receptacles, or devices are to be placed before the electrical concealment inspection.	-Installing drywall and/or insulation. -Calling for building framing inspection.
Framing Inspection	Residential Inspector	-Walls and slabs must be inspected and approved. -All plates must be installed and secured to the foundation walls. -Duct work must be installed. -Construction must comply with sound attenuation proffers, if applicable. -All concealed wall cavities must be separated from concealed ceiling cavities by an approved fire stopping method.	-Installing drywall and/or insulation. -Calling for mechanical close-in inspection.
Final Electrical Inspection	Residential Inspector	-All appliances, fixtures, outlets, panels, switches, etc. must be installed. -All electrical wiring must be complete. -Panel index must be complete, (i.e., the legend located on the electrical panel box that show which overcurrent device controls the specific appliances or lighting circuits).	-Using any equipment, appliances, outlets, panels, switches, etc. -Electrical, mechanical, building, and plumbing finals may be done in any order.
Final Building Inspection	Residential Inspector	-All work on the approved plans must be complete, including final grading.	



**FAIRFAX COUNTY AGENCIES TO CONTACT  
FOR INFORMATION ENCLOSING A CARPORT**

**REQUIREMENTS FOR PERMITS**

Permit Application Center  
Office of Building Code Services, DPWES  
12055 Government Center Parkway  
Fairfax, Virginia 22035-5504  
703-222-0801  
[www.co.fairfax.va.us/dpwes](http://www.co.fairfax.va.us/dpwes)

**REQUIREMENTS FOR SEPTIC  
SYSTEMS/WELLS**

Division of Environmental Health  
Department of Health  
10777 Main Street  
Fairfax, Virginia 22030  
703-246-2201  
[www.co.fairfax.va.us/service/hd](http://www.co.fairfax.va.us/service/hd)

**REQUEST INSPECTIONS**

Inspection Request Center  
Office of Building Code Services, DPWES  
12055 Government Center Parkway  
Fairfax, Virginia 22035-5504  
703-222-2474 (AIRS)  
703-222-0455 (voice)  
[www.co.fairfax.va.us/isisnet](http://www.co.fairfax.va.us/isisnet)

**SUBDIVISION AND DEVELOPMENT  
RESTRICTIONS**

Land Records Office  
The Jennings Building, (Judicial Center)  
Third Floor  
4110 Chain Bridge Road  
Fairfax, Virginia 22030  
703-591-8580

**HOW TO PREVENT DAMAGE TO  
BURIED UTILITY LINES**

"Miss Utility"  
(Free Service to the Permit Holder Who is  
Planning to Excavate)  
1-800-257-7777

**MINIMUM YARD REQUIREMENTS**

Zoning Permit Review Branch  
Zoning Administration Division  
Office of Comprehensive Planning  
12055 Government Center Parkway  
Fairfax, Virginia 22035-5508  
703-222-1082  
[www.co.fairfax.va.us/gov/ocp](http://www.co.fairfax.va.us/gov/ocp)

**This document is available in an alternative format upon request. Please contact the ADA representative for the Department of Public Works and Environmental Services, Room 646,**

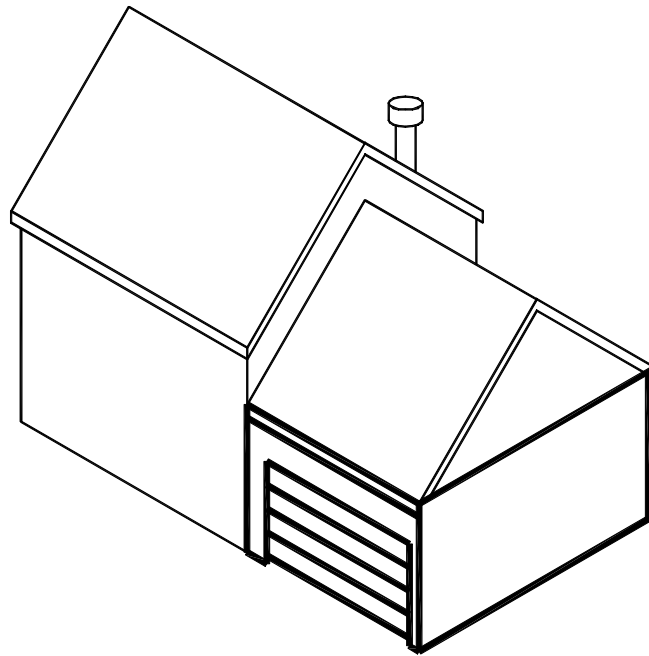
**the Herrity Building, 12055 Government Center Parkway, Fairfax, Virginia 22035-5502. Call 703-324-1828. Allow seven days for preparation of material.**

# Fairfax County

## Typical Carport Enclosure Details

*Designed in accordance with the 1996 Virginia Uniform Statewide Building Code.*

Note: Carport enclosures must be constructed in strict conformance with these details and the 1995 CABO One & Two Family Dwelling Code. For requirements, details and information not contained herein consult the CABO Code. One may be purchased from Maps and Publications located in the Government Center, 12000 Government Center Parkway, Suite 156, Fairfax, Virginia 22035-5504, telephone **703-324-2974**. A copy of these details is required to be available on the job and to the inspector during the construction and inspection process.



### TABLE OF CONTENTS

General Code Requirements .....	2
Foundation Requirements .....	2
Wall Construction Requirements .....	4
Model Energy Code Requirements .....	5
Electrical Requirements.....	6

## **GENERAL CODE REQUIREMENTS**

### **HABITABLE ROOM**

Any room meeting the requirements for sleeping, living, cooking or dining purposes, excluding such enclosed places as closets, pantries, bath or toilet rooms, hallways, laundries, storage spaces, utility rooms or similar spaces.

### **CEILING HEIGHTS**

Habitable rooms, shall have a ceiling height of not less than 7 feet 6 inches. Baths, kitchens and hallways shall have a ceiling height of not less than 7 feet measure to the lowest projection from the ceiling. Beams and girders spaced not less than 4 feet on center may project not more than 6 inches below the required ceiling height.

### **GARAGE SEPARATION**

Openings from a garage directly into a room used for sleeping purposes shall not be permitted. Other openings shall be equipped with either solid wood doors not less than 1 3/8 inch in thickness or 20 minute fire-rated doors. The garage shall be separated from the residence and its attic area by means of minimum 2 inch gypsum board (drywall) applied to the garage side.

## **FOUNDATIONS REQUIREMENTS**

### **HABITABLE SPACES**

All exterior walls enclosing a carport converted into a habitable space shall be supported on continuous concrete footings and shall extend below the frost line (24 inches for Fairfax County). Minimum sizes shall be per FIGURE 1.

### **NON-HABITABLE SPACES**

All exterior walls enclosing a carport converted into a non-habitable space (garage) shall be supported as per a habitable space. However, if continuous footings are technically not possible an alternate method, as shown in FIGURE 2, may be used.

### **GARAGE FLOORS**

Garage floor surfaces shall be a minimum 32 inch thick concrete slab with a minimum compressive strength of 3,500 PSI. That area of the floor used for parking of automobiles or other vehicles shall be sloped to facilitate the movement of liquids to a drain or toward the main vehicle entry door. All new slabs for garage floors shall also have minimum reinforcement of 6x6-W1.4xW1.4 WWF and air entrainment of 5 to 7 percent.

### **ANCHOR BOLTS**

The bottom plate of the exterior walls shall be anchored to the foundation with 2 inch diameter bolts placed 6 feet on center and not more than 12 inches from corners. Bolts shall extend a minimum of 15 inches into masonry or 7 inches into concrete.

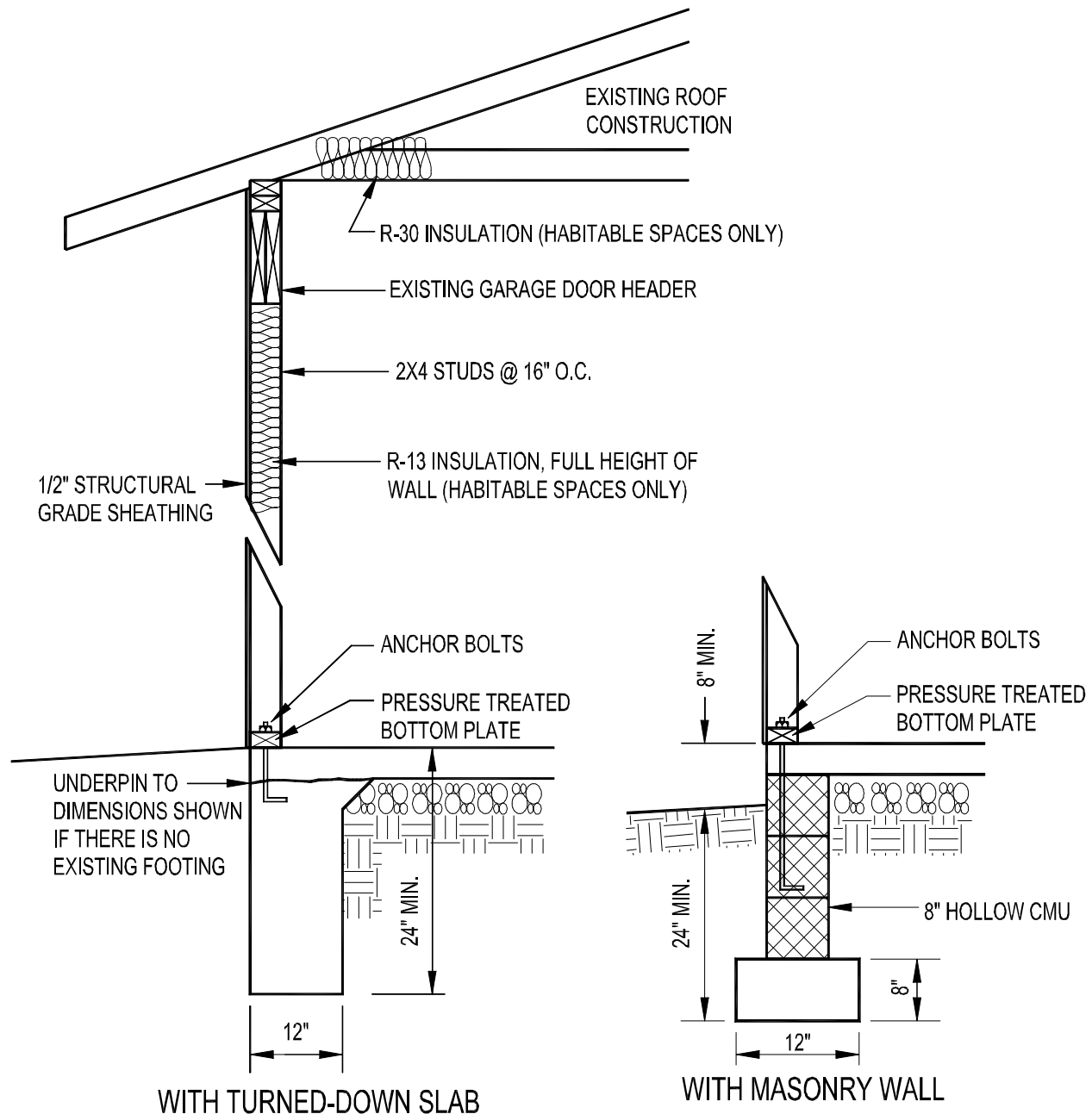
### **EXISTING SLABS WITH HABITABLE SPACES**

For existing slabs which do not include a vapor barrier beneath the slab, apply a waterproofing sealant to the top surface to discourage moisture encroachment into the living area.

### NEW SLABS WITH HABITABLE SPACES

Floor slabs shall be a minimum 32 inch thick concrete with a minimum compressive strength of 2,500 PSI with 5 to 7 percent air entrainment; reinforcement shall be minimum 6x6-W1.4xW1.4 WWF. A 4 inch thick base course consisting of clean graded sand, gravel or crushed stone shall be placed on prepared subgrade.

An approved vapor barrier with joints lapped not less than 6 inches shall be placed between the concrete floor slab and the base course. The perimeter of the floor shall also be insulated with an R-4 material from the top of the slab for a minimum of 24 inches horizontally or vertically.



**FIGURE 1: TYPICAL WALL/FOOTING DETAIL**

# WALL CONSTRUCTION REQUIREMENTS

## MATERIALS

Studs shall be a minimum No. 3, Standard or Stud grade lumber 2x4 and shall be spaced at 16 inches on center. The top plate shall be doubled and the bottom plate shall be pressure treated.

## HEADERS

Headers in non-loadbearing stud walls shall be per TABLE 1. Headers in loadbearing walls shall be per TABLE 2.

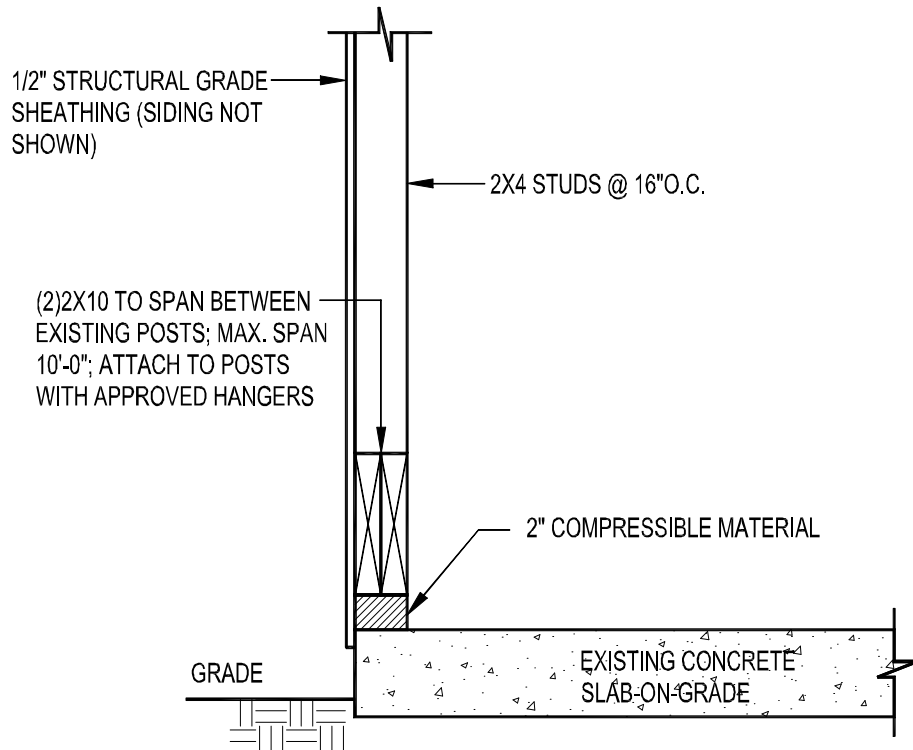
**TABLE 1: MAX. HEADER SPAN**  
(non-load bearing)

Header Size	Span length, feet
(2)2x4	4
(2)2x6	6
(2)2x8	10
(2)2x10	12
(2)2x12	16

**TABLE 2: MAX. HEADER SPAN**  
(load bearing)

Header Size <sup>1</sup>	Carport Depth		
	24'	28'	32'
(2)2x6	3'-1"	2'-11"	2'-8"
(2)2x8	4'-0"	3'-8"	3'-5"
(2)2x10	4'-10"	4'-6"	4'-2"
(2)2x12	5'-8"	5'-2"	4'-10"
(2)1 <sup>3</sup> / <sub>4</sub> x9 <sup>2</sup> lam beam	13'-2"	12'-2"	11'-5"
(2)1 <sup>3</sup> / <sub>4</sub> x11 <sup>7</sup> / <sub>8</sub> lam beam	16'-4"	15'-3"	14'-3"
(2)1 <sup>3</sup> / <sub>4</sub> x14 lam beam	19'-3"	17'-10"	16'-9"

<sup>1</sup> Lumber sizes are based on SPF(So.)#2; lam beam sizes are based on F<sub>b</sub>=2,800 PSI



**FIGURE 2: ALTERNATE WALL DETAIL  
FOR NON-HABITABLE SPACES**

**Notes:**

1. Wood siding, sheathing and wall framing on the exterior of a building having a clearance less than 6" from exposed earth shall be pressure treated.
2. New 2x10 beams shall be securely fastened to the existing posts using header hangers or similar.
3. This detail is **NOT** to be used for carports converted to habitable spaces (i.e., family rooms, dining rooms, bedrooms, kitchens, etc.).

## MODEL ENERGY CODE REQUIREMENTS

In carports converted to habitable spaces and in lieu of submitting energy envelope calculations, the following minimum energy requirements must be met. Any deviation will require a complete plan review and energy envelope calculation submittal.

1. Walls must have a minimum insulation of R-13.
2. The roof/ceiling assembly must have a minimum insulation of R-30.
3. All windows and doors shall have a minimum R-value of 2.0.
4. Doors and windows shall not exceed 18% of the exterior wall area.
5. No skylights shall be permitted.

## ELECTRICAL REQUIREMENTS

### BRANCH CIRCUITS

A 15 or 20 ampere branch circuit shall be permitted to supply lighting units or other equipment or a combination of both. The rating of any one cord and plug device shall not exceed 80 percent of the branch circuit ampere rating. The rating of any equipment fastened in place shall not exceed 50 percent of the branch circuit ampere rating when also supplying one chord or plug devices in the same circuit.

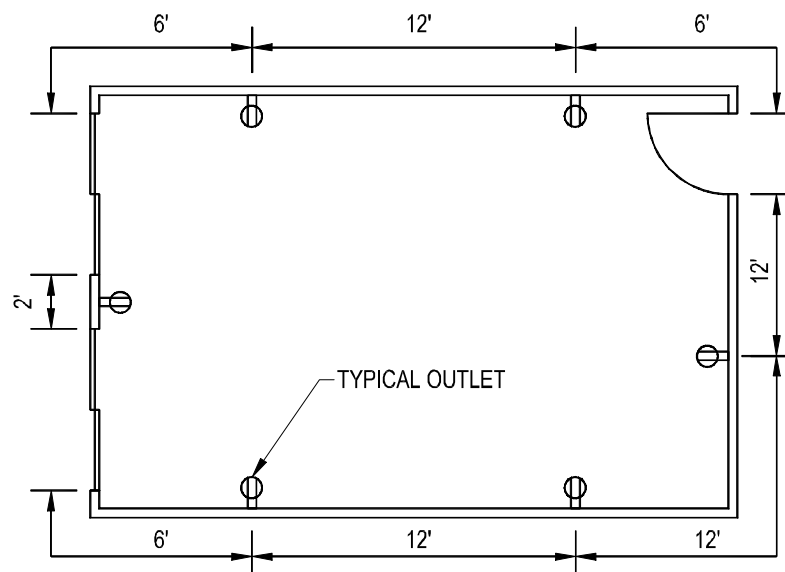
**TABLE 3: CONDUCTOR (WIRE) SIZE**

	CIRCUIT RATING		
	15 AMP	20 AMP	30 AMP
Conductors (wire): Min. Size (AWG) Circuit Conductors <sup>1</sup>	14	12	10

<sup>1</sup> These gages are for copper conductors.

### GENERAL OUTLET SPACING

At least one outlet shall be installed in a garage. In every family room, dining room, library, den, recreation room or similar outlets shall be installed so that no point along the floor line in any wall space is more than 6 feet, measured horizontally, from an outlet in that space, including any wall space 2 feet or more in width and the wall space occupied by fixed panels in exterior walls, but excluding sliding panels in exterior walls. The wall space afforded by fixed room dividers, such as freestanding bar-type counters or railings, shall be included in the 6 foot measurement. A wall space shall be considered a wall unbroken along the floor line by doorways, fireplaces and similar openings. Each wall space that is 2 feet or more in wide shall be treated individually and separately from other wall spaces within the room. Where unbroken at the floor line, two or more walls of a room that form a corner shall be considered as a wall space. See FIGURE 3.



**FIGURE 3: GENERAL USE OUTLET DISTRIBUTION**



### GFCI

All single 125 volt, single phase, 15 and 20 ampere s installed in a garage shall have ground-fault circuit-interrupter protection except those serving garage door openers.

### OUTLET REQUIREMENTS

Outlets installed for the attachment of portable cords shall be rated at not less than 15 amperes, 125 volts, or 15 amperes, 250 volts, and shall be of the grounding type.

### LIGHTING SWITCHES

At least one wall switch controlling lighting shall be installed in every habitable room, bathroom, and hallway. In rooms other than bathrooms, one or more outlets controlled by a wall switch shall be considered equivalent.

Recessed portions of lighting fixture enclosures, other than at the points of support, shall be spaced not less than **2** inch from combustible materials unless the fixture is specifically listed for direct contact.